

Correspondence Between
Staff and Applicant
Approval Letter



September 13, 2018

Lance Baker
Synectic Design
1111 W University Dr Ste 104
Tempe, AZ 85281

RE: 19-ZN-2018
1st Ave Work-Live

Mr. Baker:

The Planning & Development Services Division has completed review of the above referenced development application submitted on 8/7/18. The following **1st Review Comments** represent the review performed by our team and are intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Since it was discovered after the DRB case had been submitted, a processing fee is still due for this case. With the resubmittal, please include a payment of \$5,845.00 for a zoning map amendment from C-3 DO to D/DMU-2 DO to allow for 100% residential at the ground floor. This is necessary because per Section 6.1205D.2 of the Zoning Ordinance, only 35% of the first-floor area can be residential. NOTE: The DRB case # (35-DR-2018) will remain valid but is presently on hold pending a separate submittal.
2. As noted above, a separate submittal is needed for the DRB application; as all materials submitted for case 35-DR-2018 have been transferred to the zoning case. Please submit the materials for the DRB application at your earliest convenience (preferably not before zoning case goes to Planning Commission). Note the comments from this letter when putting together the DRB submittal materials. The processing fee of \$1,600.00 for has been paid so no additional fees for the DRB application will be required.
3. The site plan indicates "Unit 1" will be approximately eight feet from back of curb on 1st Avenue. Per Table 5.3006.C of the Downtown ordinance, the minimum setback from back of curb on all street frontages is 20 feet (patio walls are excepted from this requirement. Refer to Comment #11 on page 3). Please revise the site plan to demonstrate compliance

with this requirement. Unless the site is redesigned, this will require elimination of "Unit 1". You may request a Planned Block Development (PBD) District as part of this zoning application if the total gross land area is 20,000 square feet or greater; in which case the building setback could be amended subject to Planning Commission and City Council approval.

4. Please revise the site plan, or provide a separate site plan, to illustrate the following requirements:
 - Minimum building setback (20 feet from back of curb on both streets; Section 5.3006.C of the Zoning Ordinance)
 - Building Location (Section 5.3006.F.1 of the Zoning Ordinance)
 - Prevailing setback (if applicable; Section 5.3006.F.3 of the Zoning Ordinance)
 - Exceptions to building location, setback, prevailing setback and stepback requirements (Section 5.3006.I of the Zoning Ordinance)

Project Narrative:

5. Please revise the narrative to respond to the following goals and policies of the Land Use Chapter of the 2018 Old Town Scottsdale Character Area Plan:
 - Goal LU 2, Policy LU 2.3
 - Goal LU 3, Policy LU 3.2
 - Goal LU 5, Policies LU 5.1 thru LU 5.3
 - Goal LU 6, Policy LU 6.3

Circulation:

6. Please revise the site plan to indicate minimum 10-foot right-of-way dedication along the 1st Avenue frontage, for a total half-width of 30 feet. Refer to Section 47-10 of the Scottsdale Revised Code and Section 5-3.100 of the DSPM.
7. Please revise the site plan to indicate a minimum 10-foot alley dedication. Refer to Section 47-10 of the Scottsdale Revised Code and Section 5-3.800 of the DSPM.
8. The site plan currently indicates a 20-foot internal drive aisle. Minimum width for all two-way driveways/parking aisles is 24 feet. Please revise site plan and circulation plan accordingly. Refer to Section 9.106 of the Zoning Ordinance.

Drainage:

9. The case drainage report has not been accepted. Please refer to redlined report and revise accordingly. NOTE: This site is less than ½ an acre and therefore qualifies for a Storm Water Storage Waiver; with an in-lieu fee of \$3.00 per cubic foot. Refer to the Redevelopment Storm Water Storage Policy.

Archaeology:

10. Please provide a report regarding the documentation of existing buildings and evaluation of the cultural resource eligibility of the buildings on Lots 12 and 13 of Taylor's Addition Block 1. Refer to Chapter 2, Article V, Section 2.313.b.4 of the Scottsdale Revised Code. Also reference the Documentation Requirements for the Cottages on 1st Avenue included as Attachment C to this letter.

Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. While these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

11. Per Section 5-8.203.B of the DSPM, when patios are proposed between the building and the street sidewalk a minimum 14 feet should be provided from back of curb to the patio wall. An exception to this requirement can be requested if "the patio would not obstruct the straight, clear and unobstructed width of the pedestrian route sidewalk". Please revise the site plan and circulation plan to demonstrate compliance, or include a request for an exception based on the criterion above.
12. Perimeter and site walls shall be constructed of 6- or 8-inch wide masonry blocks, 8-inch wide brick, stone, concrete or similar solid and durable material to match the building. Stucco and paint the surface of concrete block walls to match the buildings unless they are split-faced, grid or similar decorative block types. Refer to Section 2-1.205 of the DSPM.
13. Please revise the site plan/project data to include/respond to the following:
 - Bar scale indicates a scale of 1/16" = 1 foot, however the written scale indicates 1/8" = 1 foot. Clarify
 - Zoning districts on all surrounding properties
 - Gross floor area
 - Allowed/provided lot coverage/FAR
 - Required/provided private outdoor living space per unit type
 - Number of dwelling units by bedroom count, i.e. 1-bedroom, 2-bedroom, etc.
 - Required/provided vehicle parking, including accessible and covered parking, and bicycle parking
 - Remove interior spaces from site plan so only the building footprint is shown
 - Dimensions from each building to the property lines
 - Location, material and dimensions for all sidewalks
 - Call out existing street lights, traffic control devices, irrigation standpipes, utility poles, etc.

Engineering:

14. Commercial and multi-family developments are required to provide refuse enclosures and bins (even if it is a residential project on fee-title lots). Please revise the site plan to indicate a new refuse enclosure, consistent with COS Supplement to MAG Detail #2146. Also refer to Section 2-1.309 of the DSPM. Also, confirm if recycling will be made available to residents.
15. Please revise site plan (or other applicable plans) to indicate the private irrigation standpipe on private property, as opposed to in the alley. Refer to Chapter 9 of the DSPM.

Water and Waste Water:

16. The Basis of Design (BOD) report for water and waste water has not been accepted. Please revise the report to respond to the following:

- Along the northern frontage, the existing 4-inch waterline must be upsized to a 6-inch line. (Section 6-1.400 of the DSPM)
- Proposed public sewer line must be minimum 8-inch, not 6-inch as shown. (Section 7-1.404 of the DSPM)
- A hydrant flow test confirming fire flow can be maintained by closest hydrant must be performed and the results provided with the next submittal. (Section 6-1.405 of the DSPM)

17. Also refer to preliminary utility plan and report for additional comments.

Circulation:

18. Please revise the site plan to indicate a minimum 6-foot sidewalk along the both street frontages. Refer to Section 5-3.100 of the DSPM.

19. Please revise the site plan and circulation plan to indicate a new sidewalk ramp at the intersection of 69th Street & 1st Avenue, consistent with COS Supplement to MAG Standard Detail #2234.

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Circulation:

20. Please revise site plan and circulation plan to indicate existing driveways on 1st Avenue and the alley to be removed and replaced with/upgraded to a driveway consistent with the CL-1 standard driveway type, per COS Supplement to MAG Detail #2256.

21. Please revise the site plan and circulation plan to indicate the existing driveway on 69th Street to be removed and replaced with curb, gutter and sidewalk to match improvements identified in this letter.

22. If applicable, please revise the site plan and circulation plan to indicate a Non-Motorized Public Access Easement for any portions of street sidewalk on 69th Street that extend beyond the right-of-way onto the project site.

Please resubmit the revised application requirements and additional/supplemental information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional/supplemental information is necessary.

PLEASE CALL 480-312-7767 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.

In an effort to get this Zoning District Map Amendment Planning Commission hearing, please submit the revised material identified in Attachment A as soon as possible.

The Planning & Development Services Division has had this application in review for 26 Staff Review Days since the application was determined to have the minimal information to be reviewed.

These **1st Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4306 or at gbloemberg@ScottsdaleAZ.gov.

Sincerely,

Greg Bloemberg
Senior Planner

cc: case file

ATTACHMENT A
Resubmittal Checklist

Case Number: **19-ZN-2018**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

- ☒ Four copies: COVER LETTER – Respond to all the issues identified in the first review comment letter.
- ☒ One copy: Revised CD of submittal (CD/DVD, PDF format)
- ☒ One copy: Revised Narrative for Project

- ☒ Context Aerial with the proposed Site Plan superimposed

Color 1 24" x 36" 1 11" x 17" 1 8 ½" x 11"

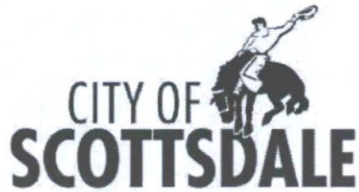
- ☒ Site Plan:

7 24" x 36" 1 11" x 17" 1 8 ½" x 11"

Technical Reports:

- ☒ 2 copies of Revised Drainage Report:
- ☒ 1 copy of Storm Water Storage Waiver:
- ☒ 3 copies of Revised Water/Waste Water Design
 Report:

Resubmit the revised Drainage Reports, Water and Waste Water Report and/or Storm Water Waiver application to your Project Coordinator with any prior City mark-up documents.



April 3, 2019

Lance Baker
Synectic Design
1111 W University Dr Ste 104
Tempe, AZ 85281

RE: Development Review Board Packet requirements for the Development Review Board hearing.

Mr. Baker:

Your case 19-ZN-2018, 1st Ave Work-Live, is scheduled to be considered by Development Review Board at the 5/16/19 hearing. Please submit the following directly to me by 1:00 p.m. on 4/25/19 in order to keep this hearing date:

- 1 copy of this letter (without this letter your packets will not be accepted)

-
- 11 copies on 11"x17" paper, collated and stapled into packets; and
 - 1 copy on 8 ½"x11" paper, not stapled, of the following:

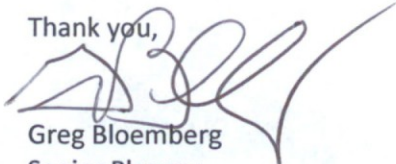
- ☒ Combined context aerial and Site Plan (color)
- ☒ Site Plan (black and white)
- ☒ Elevation Worksheet for stepbacks (color or black and white)
- ☒ Elevations (color)
- ☒ Elevations (black and white)
- ☒ Perspectives (color)
- ☒ Streetscape Elevations (color)
- ☒ Material and Color Board (color)
- ☒ Landscape Plans (black and white)
- ☒ Lighting Site Plan (black and white)
- ☒ Exterior Lighting Cutsheets (black and white)
- ☒ 11 copies of the proposed development standards (8.5 X 11)

11 copies of the project narrative (8.5 X 11)

- 11 sets of the color context photos and the associated context photo key plan.
- Please drop off Development Review Board Packet with the Receptionists and or Planning Support staff or contact me at 480-312-4306 or at gbloemberg@ScottsdaleAZ.gov to arrange a submittal meeting.

You may be required to make a presentation to the Development Review Board. If you choose to present your application to the Development Review Board utilizing a Power Point presentation, please submit the electronic file to your project coordinator by 1:00 p.m. on Monday 5/13/19. Please limit your presentation to a maximum of 10 minutes.

Thank you,



Greg Bloemberg
Senior Planner

Synectic Design, Inc.

1111 W University Drive Suite 104
Tempe, Arizona 85281
P. (480) 948-9766
F. (480) 948-9211



December 12, 2018

Greg Bloemberg

Senior Planner
City of Scottsdale
Planning & Development
Phone: 480-312-2258
Fax: 480-312-7088
gbloemberg@ScottsdaleAZ.gov

RE: 19-ZN-2018

Project: Fleetwood 6 Townhomes
6902-6908 East 1st Avenue
Scottsdale, Arizona 85251

Dear Mr. Bloemberg,

Below are our responses to the 1st Review Comments provided by you on September 13th, 2018.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

Zoning:

1. *Since it was discovered after the DRB case had been submitted, a processing fee is still due for this case. With the resubmittal, please include a payment of \$5,845.00 for a zoning map amendment from C-3 DO to D/DMU-2 DO*
 - a. *Our DRB Resubmittal will include a payment of \$5,845.00 For the Zoning map amendment*
2. *As noted above, a separate submittal is needed for the DRB application; as all materials submitted for case 35-DR-2018 have been transferred to the zoning case. Please submit the materials for the DRB application at your earliest convenience (preferably not before zoning case goes to Planning Commission). Note the comments from this letter when putting together the DRB submittal materials. The processing fee of \$1,600.00 for has been paid so no additional fees for the DRB application will be required.*
 - a. *After the case goes to the planning Commission we will issue a separate submittal for the DRB application as Requested*
3. *The site plan indicates "Unit 1" will be approximately eight feet from back of curb on 1st Avenue. Per Table 5.3006.C of the Downtown ordinance, the minimum setback from back of curb on all street frontages is 20 feet (patio walls are excepted from this requirement. Refer to Comment #11 on page 3). Please revise the site plan to*

19-ZN-2018
12/17/2018



demonstrate compliance with this requirement. Unless the site is redesigned, this will require elimination of "Unit 1". You may request a Planned Block Development (PBD) District as part of this zoning application if the total gross land area is 20,000 square feet or greater; in which case the building setback could be amended subject to Planning Commission and City Council approval.

a. We are requesting a PBD with our zoning submittal. The setback will be addressed through the PBD

4. *Please revise the site plan, or provide a separate site plan, to illustrate the following requirements:*

- *Minimum building setback (20 feet from back of curb on both streets; Section 5.3006.C of the Zoning Ordinance)*
- *Building Location (Section 5.3006.F.1 of the Zoning Ordinance)*
- *Prevailing setback (if applicable; Section 5.3006.F.3 of the Zoning Ordinance)*
- *Exceptions to building location, setback, prevailing setback and stepback requirements (Section 5.3006.1 of the Zoning Ordinance)*

a. Exceptions to Setback, Stepback, and Building Location will be addressed through the PBD

Project Narrative:

5. *Please revise the narrative to respond to the following goals and policies of the Land Use Chapter of the 2018 Old Town Scottsdale Character Area Plan:*

a. Revised Project Narrative attached

Circulation:

6. *Please revise the site plan to indicate minimum 10-foot right-of-way dedication along the 1st Avenue frontage, for a total half-width of 30 feet. Revised Project Narrative attached*

a. 10-foot right-of-way designation will be addressed through the PBD

7. *Please revise the site plan to indicate a minimum 10-foot alley dedication.*

a. Site plan has been revised to show a 10-foot alley dedication

8. *The site plan currently indicates a 20-foot internal drive aisle. Minimum width for all two-way driveways/parking aisles is 24 feet. Please revise site plan and circulation plan accordingly.*

a. The Site plan has been revised to show a 24-foot internal drive aisle width to conform to Section 9.106 of the Zoning Ordinance



Drainage:

9. *The case drainage report has not been accepted. Please refer to redlined report and revise accordingly. NOTE: This site is less than / an acre and therefore qualifies for a Storm Water Storage Waiver; with an in-lieu fee of \$3.00 per cubic foot.*
 - a. The Storm Water Storage Waiver is included in the attached Drainage Report

Archaeology:

10. *Please provide a report regarding the documentation of existing buildings and evaluation of the cultural resource eligibility of the buildings on Lots 12 and 13 of Taylor's Addition Block 1. Refer to Chapter 2, Article V, Section 2.313.b.4 of the Scottsdale Revised Code. Also reference the Documentation Requirements for the Cottages on 1st Avenue included as Attachment C to this letter.*
 - a. Complete Title Search was completed by owner and handed over to the City of Scottsdale at the last meeting

Significant Policy Related Issues

Site Design:

11. *Per Section 5-8.203.B of the DSPM, when patios are proposed between the building and the street sidewalk a minimum 14 feet should be provided from back of curb to the patio wall. An exception to this requirement can be requested if "the patio would not obstruct the straight, clear and unobstructed width of the pedestrian route sidewalk". Please revise the site plan and circulation plan to demonstrate compliance or include a request for an exception based on the criterion above.*
 - a. As shown on the Site Plan, the patios will not obstruct the straight, clear, and unobstructed width of the existing pedestrian route sidewalk. We request for an exception based on that criterion
12. *Perimeter and site walls shall be constructed of 6- or 8-inch wide masonry blocks, 8-inch wide brick, stone, concrete or similar solid and durable material to match the building. Stucco and paint the surface of concrete block walls to match the buildings unless they are split-faced, grid or similar decorative block types.*
 - a. The Site walls shall be 8" Ground Face CMU (Trendstone Blocks®), in Huntington Gray as manufactured by Trenwyth Industries, Inc.
13. *Please revise the site plan/project data to include/respond to the following:*
 - Bar scale indicates a scale of 1/16" = 1 foot, however the written scale indicates 1/8" = 1 foot. Clarify
 - Resolved

Synectic Design, Inc.

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- *Zoning districts on all surrounding properties*
 - Added to Site Plan
- *Gross floor area*
 - See Project Data on Sheet DR0.1
- *Allowed/provided lot coverage/FAR*
 - See Project Data on Sheet DR0.1
- *Required/provided private outdoor living space per unit type*
 - See Project Data on Sheet DR0.1
- *Number of dwelling units by bedroom count, i.e. 1-bedroom, 2-bedroom, etc.*
 - See Project Data on Sheet DR0.1
- *Required/provided vehicle parking, including accessible and covered parking, and bicycle parking*
 - See Project Data on Sheet DR0.1
- *Remove interior spaces from site plan so only the building footprint is shown*
 - Done, See Site Plan
- *Dimensions from each building to the property lines*
 - Done, See Site Plan
- *Location, material and dimensions for all sidewalks*
 - Done, See Site Plan
- *Call out existing street lights, traffic control devices, irrigation standpipes, utility poles, etc.*
 - Done, See Site Plan

Engineering:

14. *Commercial and multi-family developments are required to provide refuse enclosures and bins (even if it is a residential project on fee-title lots). Please revise the site plan to indicate a new refuse enclosure, consistent with COS Supplement to MAG Detail #2146 Also refer to Section 2-1.309 of the DSPM. Also, confirm if recycling will be made available to residents.*
 - a. Project is Single family/attached, as such it does not require a refuse enclosure. Trash bins will be stored in garages between collection days. The Site plan indicates areas set aside for bin placement on those days designated for collection



15. Please revise site plan (or other applicable plans) to indicate the private irrigation standpipe on private property, as opposed to in the alley.

- a. Standpipe noted for relocation to private property, see sheet P-WS

Water and Waste Water:

16. The Basis of Design (BOD) report for water and waste water has not been accepted. Please revise the report to respond to the following:

- Along the northern frontage, the existing 4-inch waterline must be upsized to a 6-inch line. (Section 6-1.400 of the DSPM)
 - a. Water Line changed to 6" – See Sheet PWS
- Proposed public sewer line must be minimum 8-inch, not 6-inch as shown. (Section 7- 1.404 of the DSPM)
 - b. Sewer Line changed to 8" – See sheet P-WS
- A hydrant flow test confirming fire flow can be maintained by closest hydrant must be performed and the results provided with the next submittal. (Section 6-1.405 of the DSPM)
 - c. Report attached to Water & Sewer Basis of Design Report

17. Also refer to preliminary utility plan and report for additional comments.

- a. Comment responses attached.

Circulation:

18. Please revise the site plan to indicate a minimum 6-foot sidewalk along the both street frontages.

- a. Sidewalk Width to be addressed through the PBD

19. Please revise the site plan and circulation plan to indicate a new sidewalk ramp at the intersection of 69th Street & 1st Avenue

- a. Site Plan Revised to show a new sidewalk ramp at the intersection of 69th Street & 1st Avenue

Technical Corrections

Circulation:

20. Please revise site plan and circulation plan to indicate existing driveways on 1st Avenue and the alley to be removed and replaced with/upgraded to a driveway consistent with the CL-1 standard driveway type, per COS Supplement to MAG Detail #225

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- a. Site does not have sufficient room for the CL-1 standard driveway type. We will be requesting a variance for this item

21. *Please revise the site plan and circulation plan to indicate the existing driveway on 69th Street to be removed and replaced with curb, gutter and sidewalk to match improvements identified in this letter.*

- a. Site plan revised to indicate demolition of existing driveway. To be replaced with Curb, gutter, and sidewalk to match existing.

22. *If applicable, please revise the site plan and circulation plan to indicate a Non-Motorized Public Access Easement for any portions of street sidewalk on 69th Street that extend beyond the right-of-way onto the project site.*

- a. Not Applicable for a single family/attached project type

Thank You,

Lance D. Baker, AIA



January 9, 2019

Lance Baker
Synectic Design
1111 W University Dr Ste 104
Tempe, AZ 85281

RE: 19-ZN-2018
1st Ave Work-Live

Mr. Baker:

The Planning & Development Services Division has completed review of the above referenced development application submitted on 12/17/18. The following **2nd Review Comments** represent the review performed by our team and are intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application. **Please note: some comments are 2nd requests related to comments not addressed, or not sufficiently addressed. Other comments are 1st comments generated by the resubmittal materials.**

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the second review of this application and shall be addressed with the resubmittal. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Now that the application includes a request for a Planned Block Development (PBD), the project narrative must include discussion related to the PBD district. Please revise the narrative to include responses to the PBD criteria identified in Section 6.1304 of the Zoning Ordinance. Please note: an application for a PBD must first go to the DRB for a recommendation prior to the case being considered by the Planning Commission.
2. Please revise the narrative to demonstrate justification for the proposed amended development standards. Although no "bonus" development standards are being proposed, it is still important to justify amendments that are contrary to the ordinance. Discuss how the proposed amendments respond to the Old Town Scottsdale Plan and identify the justification. Improvements that enhance the pedestrian experience and undergrounding of overhead utility lines are examples of justifications that demonstrate a public benefit.
3. The required setbacks (building envelope) begin at the minimum building setback on street frontages, not at the back of curb as indicated on the Elevation Worksheet (1st Avenue

frontage). Please revise the Elevation Worksheet to clearly identify the property line and required building setback (per amended standards) and show inclined stepback beginning at the setback line along both street frontages. It may be necessary to include an amendment to the stepback requirements as part of the PBD request. Refer to Section 5.3006.H of the Zoning Ordinance.

4. Please provide a separate site plan that illustrates the setback, building location, and exceptions to building location, setback and stepback standards. Refer to Sections 5.3006.C, 5.3006.F.1 and 5.3006.I of the Zoning Ordinance.
5. Please confirm on the site plan that existing overhead utility lines adjacent to the property will be buried. Refer to Section 47-80 of the Scottsdale Revised Code.

Circulation:

6. Please revise the site plan to indicate a minimum 10-foot right-of-way dedication along the 1st Avenue frontage, for a total half-width of 30 feet. Refer to Section 47-10 of the Scottsdale Revised Code and Section 5-3.100 of the DSPM.

Significant Policy Related Issues

The following policy related issues have been identified in the second review of this application. While these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

7. Widening of street sidewalks is a critical component of redevelopment in the Downtown area. The existing five-foot wide sidewalks are not sufficient for anticipated pedestrian traffic and/or ADA accessibility. Please revise the site plan and circulation plan to indicate six-foot sidewalks on both street frontages. A six-foot wide sidewalk can be accomplished on 1st Avenue by shifting the buildings to the north, toward the alley (no building setback is required from the alley). Refer to Section 5-3.100 of the DSPM.
8. Please revise the site plan to confirm proposed patio walls are a minimum of 14 feet back of street curb on 69th Street, or request exception based on applicable criteria in Section 5-8.203.B of the DSPM.
9. Please revise the site plan to include the following information:
 - Zoning districts for adjacent properties
 - Required/provided vehicle parking, accessible and bicycle parking, with supporting calculations
 - Dimension from centerline of streets to back of curb
 - Location of sidewalks, including pavement types and dimensions

Engineering:

10. Unless otherwise approved by the Solid Waste Division, this project must include a refuse enclosure, consistent with Supplement to MAG Detail #2146. Please revise site plan to show enclosure. Also refer to Section 2-1.309 of the DSPM.

11. Please revise the site plan to indicate minimum 6-inch diameter service tap for sewer. This is called out in the BOD but also needs to be called out on the site plan. Refer to Chapter 7 of the DSPM.
12. Please revise site plan (or other applicable plans) to indicate the private irrigation standpipe on private property, as opposed to in the alley. Refer to Chapter 9 of the DSPM. This is noted in the BOD but also needs to be called out on the site plan.

Technical Corrections:

The following technical ordinance or policy related corrections have been identified in the second review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Circulation:

13. Please revise site plan and circulation plan to indicate existing driveways on 1st Avenue and the alley to be removed and replaced with/upgraded to a driveway consistent with the CL-1 standard driveway type, per COS Supplement to MAG Detail #2256.
14. Please revise the site plan to indicate Non-Motorized Public Access easements over any portion of street sidewalk that encroaches onto the project site.

Drainage:

15. The case drainage report and Request for a Storm Water Storage Waiver have both been accepted. Please note: an in-lieu drainage fee of \$978.00 will be required for the waiver prior to issuance of any permits for this project.

Water and Waste Water:

16. The preliminary Basis of Design (BOD) report for water and sewer has been accepted. Please note: Final sizing of water service line, meter and PRV must be in accordance with fixture units and sprinkler design. PRV is required for each service. Please note for the final BOD to be submitted as part of the DRB application.

Please resubmit the revised application requirements and additional/supplemental information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional/supplemental information is necessary.

PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURN TO THE APPLICANT.

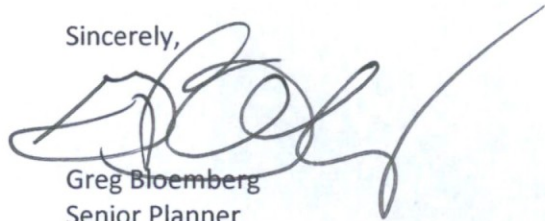
In an effort to get this Zoning District Map Amendment to a Development Review Board hearing, please submit the revised material identified in Attachment A as soon as possible.

The Planning & Development Services Division has had this application in review for 45 Staff Review Days since the application was determined to have the minimal information to be reviewed.

These **2nd Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4306 or at gbloemberg@ScottsdaleAZ.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Greg Bloemberg', with a long, sweeping horizontal line extending to the right.

Greg Bloemberg
Senior Planner

cc: case file

ATTACHMENT A
Resubmittal Checklist

Case Number: **19-ZN-2018**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

- ☒ One copy: COVER LETTER – Respond to all the issues identified in the first review comment letter.
- ☒ One copy: Revised CD of submittal (CD/DVD, PDF format)
- ☒ One copy: Revised Narrative for Project

☒ Site Plan:

_____ 3 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

☒ Elevation Worksheet(s):

_____ 1 _____ 24" x 36" _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

- ☒ Development Plan Booklets (required for PBD applications) Development Plans must include all associated plans for this application, in addition to the project narrative and the proposed amended development standards.

The Development Plan booklets shall be clipped together separately, and not be bounded.

Color _____ 1 _____ 11" x 17" _____ 1 _____ 8 ½" x 11"

- 8 ½" x 11" – 3 color copy on archival (acid free paper) (To be submitted after the Planning Commission hearing.)

☒ Other Supplemental Materials:

Refer to Comment #4

ATTACHMENT A
Resubmittal Checklist

Case Number: **19-ZN-2018**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

- ☒ Four copies: COVER LETTER – Respond to all the issues identified in the first review comment letter.
- ☒ One copy: Revised CD of submittal (CD/DVD, PDF format)
- ☒ One copy: Revised Narrative for Project

- ☒ Context Aerial with the proposed Site Plan superimposed

Color 1 24" x 36" 1 11" x 17" 1 8 ½" x 11"

- ☒ Site Plan:

7 24" x 36" 1 11" x 17" 1 8 ½" x 11"

Technical Reports:

- ☒ 2 copies of Revised Drainage Report:
- ☒ 1 copy of Storm Water Storage Waiver:
- ☒ 3 copies of Revised Water/Waste Water Design
 Report:

Resubmit the revised Drainage Reports, Water and Waste Water Report and/or Storm Water Waiver application to your Project Coordinator with any prior City mark-up documents.

19-ZN-2018
12/17/2018



Planning and Development Services Division

7447 East Indian School Road
Scottsdale, Arizona 85251

Date: 8-7-18
Contact Name: Lance Baker
Firm Name: Synectic Design
Address: —
City, State, Zip: —

RE: Application Accepted for Review.

228 - PA - 18

Dear Mr. Baker:

It has been determined that your Development Application for Fleetwood 6 has been accepted for review.

Upon completion of the Staff's review of the application material, I will inform you in writing or electronically either: 1) the steps necessary to submit additional information or corrections; 2) the date that your Development Application will be scheduled for a public hearing or, 3) City Staff will issue a written or electronic determination pertaining to this application. If you have any questions, or need further assistance please contact me.

Sincerely,

Name: Greg Bloemberg
Title: Senior Planner
Phone Number: (480) 312 - 4306
Email Address: gbloemberg @ScottsdaleAZ.gov

19-ZN-2018
08/07/18



Planning and Development Services Division

7447 East Indian School Road
Scottsdale, Arizona 85251

Date: _____
Contact Name: _____
Firm Name: _____
Address: _____
City, State, Zip: _____

RE: Minimal Submittal Comments

_____ - PA - _____

Dear _____:

It has been determined that your Development Application for _____
Does not contain the minimal information, and has not been accepted for review.

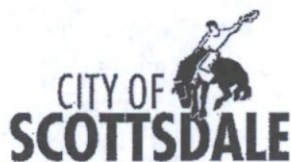
Please refer to the application checklist and the Minimal Information to be Accepted for Review Checklist, and the Plan & Report Requirements pertaining to the minimal information necessary to be accepted for review.

PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.

These **Minimal Submittal Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

Sincerely,

Name: _____
Title: _____
Phone Number: (480) 312 - _____
Email Address: _____@ScottsdaleAZ.gov



January 9, 2019

Lance Baker
Synectic Design
1111 W University Dr Ste 104
Tempe, AZ 85281

RE: 19-ZN-2018
1st Ave Work-Live

Mr. Baker:

The Planning & Development Services Division has completed review of the above referenced development application submitted on 12/17/18. The following **2nd Review Comments** represent the review performed by our team and are intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application. **Please note: some comments are 2nd requests related to comments not addressed, or not sufficiently addressed. Other comments are 1st comments generated by the resubmittal materials.**

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the second review of this application and shall be addressed with the resubmittal. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Now that the application includes a request for a Planned Block Development (PBD), the project narrative must include discussion related to the PBD district. Please revise the narrative to include responses to the PBD criteria identified in Section 6.1304 of the Zoning Ordinance. **Please note:** an application for a PBD must first go to the DRB for a recommendation prior to the case being considered by the Planning Commission.
2. Please revise the narrative to demonstrate justification for the proposed amended development standards. Although no "bonus" development standards are being proposed, it is still important to justify amendments that are contrary to the ordinance. Discuss how the proposed amendments respond to the Old Town Scottsdale Plan and identify the justification. Improvements that enhance the pedestrian experience and undergrounding of overhead utility lines are examples of justifications that demonstrate a public benefit.
3. The required stepbacks (building envelope) begin at the minimum building setback on street frontages, not at the back of curb as indicated on the Elevation Worksheet (1st Avenue

19-ZN-2018
02/07/2019

frontage). Please revise the Elevation Worksheet to clearly identify the property line and required building setback (per amended standards) and show inclined stepback beginning at the setback line along both street frontages. It may be necessary to include an amendment to the stepback requirements as part of the PBD request. Refer to Section 5.3006.H of the Zoning Ordinance.

4. Please provide a separate site plan that illustrates the setback, building location, and exceptions to building location, setback and stepback standards. Refer to Sections 5.3006.C, 5.3006.F.1 and 5.3006.I of the Zoning Ordinance.
5. Please confirm on the site plan that existing overhead utility lines adjacent to the property will be buried. Refer to Section 47-80 of the Scottsdale Revised Code.

Circulation:

6. Please revise the site plan to indicate a minimum 10-foot right-of-way dedication along the 1st Avenue frontage, for a total half-width of 30 feet. Refer to Section 47-10 of the Scottsdale Revised Code and Section 5-3.100 of the DSPM.

Significant Policy Related Issues

The following policy related issues have been identified in the second review of this application. While these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

7. Widening of street sidewalks is a critical component of redevelopment in the Downtown area. The existing five-foot wide sidewalks are not sufficient for anticipated pedestrian traffic and/or ADA accessibility. Please revise the site plan and circulation plan to indicate six-foot sidewalks on both street frontages. A six-foot wide sidewalk can be accomplished on 1st Avenue by shifting the buildings to the north, toward the alley (no building setback is required from the alley). Refer to Section 5-3.100 of the DSPM.
8. Please revise the site plan to confirm proposed patio walls are a minimum of 14 feet back of street curb on 69th Street, or request exception based on applicable criteria in Section 5-8.203.B of the DSPM.
9. Please revise the site plan to include the following information:
 - Zoning districts for adjacent properties
 - Required/provided vehicle parking, accessible and bicycle parking, with supporting calculations
 - Dimension from centerline of streets to back of curb
 - Location of sidewalks, including pavement types and dimensions

Engineering:

10. Unless otherwise approved by the Solid Waste Division, this project must include a refuse enclosure, consistent with Supplement to MAG Detail #2146. Please revise site plan to show enclosure. Also refer to Section 2-1.309 of the DSPM.

11. Please revise the site plan to indicate minimum 6-inch diameter service tap for sewer. This is called out in the BOD but also needs to be called out on the site plan. Refer to Chapter 7 of the DSPM.
12. Please revise site plan (or other applicable plans) to indicate the private irrigation standpipe on private property, as opposed to in the alley. Refer to Chapter 9 of the DSPM. This is noted in the BOD but also needs to be called out on the site plan.

Technical Corrections:

The following technical ordinance or policy related corrections have been identified in the second review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Circulation:

13. Please revise site plan and circulation plan to indicate existing driveways on 1st Avenue and the alley to be removed and replaced with/upgraded to a driveway consistent with the CL-1 standard driveway type, per COS Supplement to MAG Detail #2256.
14. Please revise the site plan to indicate Non-Motorized Public Access easements over any portion of street sidewalk that encroaches onto the project site.

Drainage:

15. The case drainage report and Request for a Storm Water Storage Waiver have both been accepted. Please note: an in-lieu drainage fee of \$978.00 will be required for the waiver prior to issuance of any permits for this project.

Water and Waste Water:

16. The preliminary Basis of Design (BOD) report for water and sewer has been accepted. Please note: Final sizing of water service line, meter and PRV must be in accordance with fixture units and sprinkler design. PRV is required for each service. Please note for the final BOD to be submitted as part of the DRB application.

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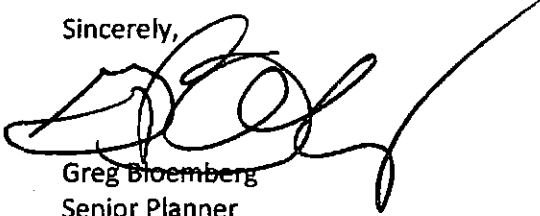
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Greg Bloemberg
Senior Planner

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